



GOREN CHEROF
DOODY & EZROL P.A.
ATTORNEYS AT LAW

July 5, 2023

Via Email and U.S. Mail
ben@algpl.com

Benjamin A. Solomon, Esq.
Association Law Group, Attorneys at Law
1101 Brickell Avenue, Suite N1101
Miami, FL 33131

Re: City of Pembroke Pines (the "City") / Heron Pond Condominium Association, Inc.
(the "Association") / Building Code Issues / Property Located at 8400 SW 1st Street,
Pembroke Pines, FL 33025 (the "Property")

Dear Mr. Solomon,

This letter shall serve as a response to your letter dated June 30, 2023. The purpose of this letter is to further address certain matters that you outlined within your letter and to apprise you and the Association of the City's next immediate steps to address the ongoing life, health, and safety concerns on the Property, which the City has been communicating to the Association since 2021.

Communication with Residents

At the City's May 25th meeting with the Association, the representatives of Association agreed that the City would be included in future communications submitted to the Property's residents regarding this matter. As you noted in your most recent letter to our office, the Association's Property Manager submitted correspondence to its residents via email providing an update on the situation. The City, however, was not privy to the contents, or existence, of the letter to the residents until you submitted the letter to our office as part of your response.

Need to Evacuate Certain Units

During a visual inspection of Building 10, City officials observed a resident occupying unit 101 despite the City's past designation of unit 101 as unsafe to occupy. The resident expressed to the City that the Association had not informed him of the conditions of his unit or his legal need to vacate the unit. The resident voluntarily allowed the City officials to enter his property where

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the City noted a large water stain indicating water damage to the unit's ceiling and a substantial amount of what appears to be termite droppings located on the window sills within the apartment.

Termites

Your June 30th letter stated that six (6) buildings were tented by the Association. However, as stated by the City's Chief Building Official during our May 25th meeting, the six (6) buildings were tented well over one (1) year ago and it is very likely as evidenced by the evaluation of the City's staff that the termites have either moved to the other thirteen (13) buildings that have not been tented or have since returned to the six (6) buildings that were tented. Building permits are not required to conduct a termite assessment.

Work without Permits

The findings of any exploratory work conducted on the buildings should have been documented and reported to the City prior to closing the holes created to conduct any such work. Building permits outlining how the repair(s) would occur are required to carry out the work. The City has found that the required procedure has not been followed and the City's Fire Prevention Bureau has documented these violations.

At this time, the City has not received building permit applications for the necessary repairs to the Property. The City has received conceptual plans submitted via email and staff has begun a cursory review of the conceptual plans. Nonetheless, these plans will require the submittal of formal building applications pursuant to the City's review of an updated and revised structural analysis report.

It is important to note that the only building permits that have been issued to the Property by the City to date are all related to the required shoring of balconies. Please note for the Association's records that the issued shoring permits, which were applied for on March 16, 2023 and approved on May 23, 2023 are as follows:

Shoring Permits: CO23-03640, CO23-03642, CO23-03652, CO23-03660, CO23-03681, CO23-03696, CO23-03698, CO23-03695, CO23-03697, CO23-03605, CO23-03706, CO23-03714, CO23-03731, CO23-03732, CO23-03730, CO23-03733, CO23-03734, CO23-03735, and CO23-03657.

Structural Analysis and Next Steps

Presently, all properties within Heron Pond have been notified regarding the unsafe conditions of the balconies. As previously communicated to the Association, the concerns about the present structural deficiencies of the balconies on the Property are strongly believed by the

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City's professional staff to be part and parcel of the perceived underlying and significant structural issues of each building on the Property. Such concerns over the structural integrity of each building on the Property have been repeated and repeated again to the Association by the City throughout the last two years and were evidenced by Akouri Consulting Engineers, the engineering firm hired by the Association to provide the structural assessment report dated October 11, 2021. The City's Chief Building Official, Stephen Pizzillo, has provided a thorough summary of the history and communications between the City and the Association regarding this matter in his letter dated July 3rd, 2023. The Building Official's letter has been attached hereto for your review and records as Exhibit "A".

Due to the amount of time that has elapsed since the last-submitted structural analysis and the Property's continued worsening of conditions due to the Association's failure to adequately and timely address the issues on the Property, the City has requested an updated and revised structural analysis report detailing the conditions of each of the buildings on the Property. While the Association has recently requested to begin the permit process to conduct repairs on the Property, the City has expressed its inability to safely and responsibly permit or allow future work on the Property without the benefit of an updated and revised structural analysis report depicting the current conditions of the Property.

In order to expedite the necessary repairs on the Property, the City has offered to provide the Association the opportunity to prioritize those buildings deemed to be most "at-risk" and to produce a structural analysis for those buildings first in order to apply for permits and to begin the most crucial repair work more quickly. However, as provided within the attached letter from the City's Chief Building Official, a detailed structural analysis is required for every building on the Property. The documentation provided to the City on June 27th, from the Association's Engineer, has been deemed insufficient by the City's Building Official who has outlined his ongoing concerns within his July 3rd letter.

You have informed the City that an engineer will be on-site at the end of this week to review a number of the most critical buildings on the Property and will subsequently issue a report based on the engineer's findings. The City notes that this inspection will occur six (6) weeks after our May 25th meeting and that the City had already expressed its need for a structural analysis prior to May 25th. While the City understands that the Association may encounter reasonable delays in procuring the requisite professionals required to complete the necessary work on the Property, the City reiterates that the present conditions on the Property pose a potential and continuing life-safety risk to every resident and hereby implores the Association to exhaust any and all resources and efforts to ensure the immediate resolution to the Property's ongoing structural issues.

As noted in our office's June 28th letter to you, due to the City's continued health, welfare, and safety concerns and the lack of urgency reflected in the inactions of the Association, the City

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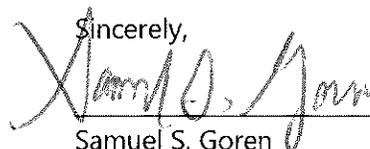
hired an independent structural engineer (the "Engineer") to conduct an on-site review of the Property and deliver a report (the "Report") to the City. A copy of the Report is attached hereto as Exhibit "B" for your review and records.

The Report, dated June 28, 2023, notes that the buildings on the Property show evidence of "severe structural distress". The Engineer also notes that every building suffered from "excessive deflections, rotten wood exterior columns, and exterior walls" and that "at least two (2) sets of steel stairs had completely rusted out and were no longer providing sufficient bearing at the walkway slab on grade." The Report reiterates the need for an updated structural analysis report noting that... "a detailed inspection is the only way to provide an accurate profile of the existing condition and capacity of the structures." Further, the Report concludes with a dire warning that if a detailed inspection and report cannot be provided to the City in a timely manner, that the City is left with "no choice" but to assume that the units on the Property are unsafe and take any appropriate legal measures to evacuate the units.

Pursuant to the Report, the City's Fire Marshal's drafted the letter dated June 29, 2023, attached hereto as Exhibit "C", to the Association wherein the Fire Marshal specifically references the three (3) units that have been deemed Unsafe to Occupy. The Fire Marshal further indicates that no technical report has been submitted to the City for review despite the "significant signs of deterioration and structural uncertainty" of the buildings on the Property.

The Report together with the Building Official's and Fire Marshal's respective letters adequately reflect the City's past and ongoing significant and well-founded concerns regarding the imminent threat to the health, safety, and welfare of the Property's residents. As such, pursuant to the request of the Fire Marshall, the Chief Building Official, the City's own independent engineer, and the City Manager and professional staff, the City shall proceed to issue code violation citations for each of the Property's 304 units. The violations, based on the Florida Building Code, the Applicable Broward County Amendment to the Building Code, and the applicable City Code, can potentially be closed on a building-by-building basis following the completion of permitted, approved, and inspected repairs. A letter from the City explaining the violations and the overall situation between the City and the Association shall be submitted to each unit contemporaneously with the violations.

Should you have any questions regarding this matter, please do not hesitate to our office.

Sincerely,


Samuel S. Goren
City Attorney

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cc: Frank C. Ortis, Mayor
Members of the City Commission
Charles F. Dodge, City Manager
Aner Gonzalez, Deputy City Manager
Michael Stamm, Assistant City Manager and Director of Planning and Economic
Development
Daniel Almaguer, Fire Marshall
Steve Pizzillo, Chief Building Official

Pembroke Pines Building Department
Steve Pizzillo, C.B.O.

Date: July 3, 2023

Reason: Heron Pond Unsafe Conditions

After all the back and forth on this issue I feel that it is necessary to, at first, delve into the background of this situation once again. This entire circumstances started with a call to the Building Department from residents of the complex about the living conditions that presented themselves. A member of the structural team from the City of Pembroke Pines Building Department visited the site after receiving an email from Glogoz General Contractor Dated April 29, 2021, stating that structural repairs where being done by an unlicensed contractor without a permit.

It needs to be pointed out at this time that structural repairs being performed by unlicensed contractor required a stop work order to be issued in the last 30 days once again.

The contractor went on to say in their email that the reason for the work being done by unlicensed contractors without applying for a permit was because there were no funds to do it the correct way. This resulted in two balconies being declared unsafe July 22, 2021.

On July 27, 2021, A site visit was done with member of the Pembroke Pine Building Department and George Akouri, P.E. to discuss the conditions of the buildings and a course that would bring the buildings into compliance and to be in a safe condition.

On September 9, 2021, meet with Xochitl Alvarez, the new property manager, and brought her up to speed with what was discussed, the problems that where present and the deteriorating conditions of the property. On the same day we talked with George Akouri, P.E. about his reports and the lack of them being presented to the AHJ, Authority Having Jurisdiction, and he responded that he had not been retained.

On September 13, 2021, Akouri Consulting Engineers informed us that they were retained.

On October 8, 2021, Akouri Consulting Engineers prepared a shoring plan for Building 16. No Permits or plans where submitted to the Pembroke Pines Building Department for the shoring required by the Engineer of Record. In addition, no report was submitted by any engineer that the shoring had been performed and approved.

On January 18, 2023, Building Inspectors were requested to respond to Heron Pond at the request of the Fire Marshall after an annual inspection.

EXHIBIT A

On January 18, 2023, All units were posted that the balconies were unsafe by the AHJ, Authority Having Jurisdiction.

On January 20, 2023, A one page report was submitted to the Building Department by EC & Associates about the conditions of the buildings, also attached was the shoring details from Akouri Consulting Engineers.

On March 29, 2023, received updated engineering statement from EC & Associates about shoring, no plans or no permits were submitted for the repair to the buildings. Eighteen months since the first determination that shoring was required.

On numerous occasions from January 2023 to May of 2023 as the Authority Having Jurisdiction, I have requested under the Florida Building Code, Existing Building Code:

- **Section 907.4.1 Evaluation and Analysis:** An engineering evaluation and analysis that establishes the structural adequacy of the altered structure shall be prepared by a registered design professional and submitted to the **Code Official**.

The Existing Building Code goes on to say under Florida Building Code, Existing Building:

- **Section 907.4.2 Substantial structural alteration:** Where work involves a substantial structural alteration, the evaluation and analysis shall demonstrate that the lateral load-resisting system of the altered building or structure complies with the Florida Building Code, Building for wind loading.

In addition, the Florida Building Code, Existing Building goes on to state:

- **406.2.2 Substantial structural damage to vertical elements of the lateral force resisting system.** *A building that has sustained substantial structural damage to the vertical of its lateral force resisting system shall be evaluated in accordance with Section 406.2.2.1 and either repaired in accordance with Section 406.2.2.2 or 406.2.2.3 depending on the results of the evaluation.*

It goes on to state:

- **406.2.2.1 Evaluation.** *The building shall be evaluated by a registered design professional, and the evaluation shall be submitted to the code official. The evaluation shall establish whether the damaged building if damaged to its pre-damaged state, would comply with the provisions of the Florida Building Code, Building for load combinations that include wind effects.*

At this time, we need to take a look at the evaluations that have been done by Professional Engineers licensed by the State of Florida. A total of four engineers have reviewed and/or inspected the project.

The first would be Akouri Consulting Engineers. On October 8, 2021, they prepared individual reports on all 19 buildings comprising the Heron Pond complex. Looking at the report from Building 10 the following statements were made:

- The condition of the building was observed to be poor.
- Wood studs, joists, and sheathing were significantly compromised by the ongoing long term moisture exposure and large presence of the termites.
- The moisture exposure occurred due to the cracks and openings that were created by failed stucco and paint.
- The roof trusses, were also observed to be infested with termite, depict structural damages, and were observed in fair condition.
- ACE observed that the building was not maintained properly and as a result multiple assessed structural components depicted moisture deterioration.
- Residents of several first-floor units reported multiple previous plumbing or a/c leaks underneath bathrooms and air handler closets of the second-floor units.
- In addition, at the time of this assessment, unit 101 wood floor framing was exposed throughout the unit. The wood framing in the bathrooms was noted to be moisture deteriorated and structurally compromised.
- Therefore, the ceiling drywall in all remaining units in the bathrooms and a/c closets on the first floor must be exposed and all moisture damaged wood framing, including flat wood trussed and plywood, must be repaired.
- Install blue tarp over units 101 and 201. The tarp must be hanging down from the roof line and covering the opening in the wall.

Akouri Consulting then went on to place a list of recommendations that they were requiring to be done on the buildings such as:

- Stucco along the perimeter walls must be stripped to the wood sheathing along the entire building.
- The areas showing deteriorated sheathing and/or wood studs must be replaced. The remaining visibly sound structural framing must be evaluated by a special inspector.
- The floor flat trusses must be exposed in all bathrooms and air handler closets. All moisture damaged framing must be repaired.
- The insulation within the attic space must be vacuumed and all bottom chords of roof trusses must be inspected and repaired if found structurally damaged.
- All household items stored in the attic space are a fire hazard and must be removed.
- All staircases must be cleaned from corrosion, welded as needed, and painted. All cracks concrete steps must be replaced.
- All trees and shrubs along the perimeter of the building must be removed along with its roots. The finish grade must be restored and compacted sloping away from the exterior wall in accordance with Florida building Code Section 1804.4.
- The entire building must be treated for termites prior to the repairs and inspected again for termites following the repairs. If termites persist, the building must be treated again.

- Install blue tarp over units 101 and 201 to protect the building from water intrusion. The tarp must be hanging down from the roof line and covering the opening in the wall.

The report went on to advise:

All work must be performed in accordance with the plans and specifications prepared by a professional engineer in accordance with Florida Building Code and approved by the local Building Department.

Second Engineer

On January 18, 2023, structural engineer Abdul Mohammad P.E. from Calvin Giordano and Associates responded to aid representatives of the Pembroke Pines Building and Fire Departments to determine the level of damage. He expressed concern for the outward signs that were present and visible and started, with the aid of the Fire Department, to look at areas of concern. At this time the association stated that they would retain a structural engineer and in a short period of time would prepare and present a detailed structural analysis and repair plans for the worst buildings and/or the worst sections of buildings.

Third Engineer

On January 20, 2023 I am in receipt of a one-page letter from Emilio Castro P.E. which states:

Statement: All of the balcony horizontal wood framing (joists and beams) as well as the wood columns are in poor condition and in my opinion are unsafe for occupancy (balconies only) other than for an emergency egress and/or rescue landings. All of the balconies should be shored (see shoring plan by Akouri Engineers) and shoring be provided at both levels, i.e., supporting the over the balconies as well. The stair landings and bay windows shall also be supported with pole shoring (see shoring plan by Akouri Engineers) and may remain in service until further notice.

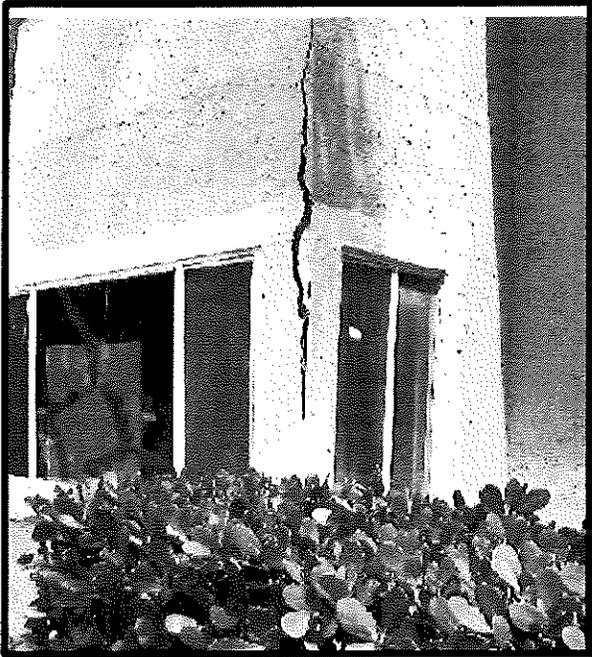
Mr. Castro references the Akouri Structural Assessment report that was submitted but chooses to ignore numerous portions of the report and instead looks to limit his statement to balconies and bay windows. The areas of concern raised by Akouri in their 2021 report included:

- Termite damaged roof trusses.
- Termite damaged floor trusses.
- Damaged sheathing around the building.
- Damaged stucco around the building.

All these situations addressed in the Akouri Structural Assessment are not addressed in the E.C. Castro report.

The following pictures show the progression of the damage on an element of the building not covered in the Castro Report.

Building 10
Corner roof support Column 2021



Building 10
Corner roof support column 2023



As can be seen in these pictures taken approximately 20 months apart which shows the advancement of the damage which is not being addressed in the Castro report.

Finally, we need to look at a third party independent structural engineer report that was requested by the Building Department. Mark LeBlanc, P.E. principal from Specialty Engineering visited the Heron Pond site generating a report on June 28, 2023.

Points of concern in his report are as follows:

- Many of the structures are exhibiting severe structural distress.
- Excessive deflections, rotten wood exterior columns and exterior walls were noted in every building.
- In some instances, so severe that the entire cross section of the members had been consumed.
- At least 2 sets of steel stairs had completely rusted out and were no longer providing sufficient bearing at the walkway slab on grade.

Mr. LeBlanc then goes on to state that:

Currently many of these structures and parts thereof appear to have deteriorated to the condition to be unsafe.

Recommendations

Mr. LeBlanc has several recommendations that he has stipulated in his report. The recommendations are as follows:

- A thorough inspection of each of the structures by a Florida Licensed Professional Engineer with experience in the structural design of wood structures, waterproofing and construction materials.
- At a minimum guideline for the inspection process, he recommends that the following procedures be adhered to:
 - Immediately shore and reshore every balcony and elevated portion of the structures, especially the bay windows and step outs.
 - Inspect the stair stringers and if compromised shore the stairs at the third riser.
 - Cut access holes in the stucco to provide visible confirmation of the state of the structural member underneath. These access holes in the stucco and lath backing should be cut at every column, 12 inches above grade and at every exterior column to beam/joist intersection on all elevations of the building.
 - Pick two units in each building and provide a detailed inspection of those unit's interior including a moisture survey.
 - Provide openings in the bearing walls and ceilings of these units to allow for inspection in these closed areas.
 - Provide access to the roof trusses for a complete inspection of the roof trusses and sheathing.

- o If evidence of deterioration is found in any of the portions of the interior of the units, other units in that building should be investigated to determine the overall condition of the entire structure.

Conclusion

Mr. Leblanc P.E. is very succinct in his conclusion as he states:

The condition of these structures has become so compromised that a detailed inspection is the only way to provide an accurate profile of the existing condition and capacity of the structures. If this cannot be done immediately, if you cannot obtain an accurate profile of the condition and capacity of these structures, you have no choice but to protect the public and assume **that the buildings are unsafe** until proven otherwise.

It is our (Mr. LeBlanc's) recommendation that any building believed to be unsafe should be evacuated until it is proven that they are safe enough to occupy or until such a time that they have been repaired to a condition which would provide complete structural stability.

Conclusions from the Authority Having Jurisdiction

We now have three professional engineers who basically agree with each other on some key points:

- More exploratory evaluation needs to be performed to adequately assess the extent of damage to the structure.
- The damage is not limited to the balconies and bay windows.
- Unless the required structural analysis is performed and plans provided addressing all structural concerns deterioration of the structures will continue.
- The evaluations, Structural Analysis, needs to be done immediately and work commenced as soon as possible.
- If delays continue the structures should be declared unsafe.

The extent of Mr. Castor's structural evaluation is a statement that *"repairs are necessary."*

The association over the past few years has employed unlicensed contractors to cover damaged portions of the buildings while not repairing and/or replacing damaged structural elements. Which would need to be designed by a professional engineer, approved by the Pembroke Pines Building Department, and inspected by a special inspector as well as from the Building Department.

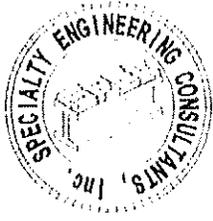
At this time as the Authority Having Jurisdiction for the City of Pembroke Pines Building Department both myself and the Daniel Almaguer the Fire Marshall are still making demand that a detailed structural analysis, technical analysis, be provided on all nineteen buildings. The reports should be based on the requirements discussed in the Akouri report and the Specialty Engineering evaluation of the Heron Pond property.

There is much damage to the buildings, that is now being documented as getting worse. It is also shown that the extent of damage far exceeds the level that your engineer of record has stated in his statement. In the Akouri Structural Assessment they state that in Building 10 Unit 101 the structural floor rafters were exposed and visible, since no permit was applied for to renovate/rebuild this unit it must be in the same condition for an assessment to start there.

As Chief Almaguer stated in his evaluation, *"until the required technical analysis is received, additional units may be deemed Unsafe to Occupy by the Building Official or the Authority Having Jurisdiction."*

Respectfully,

Steve Pizzillo, C.B.O.
Building Official
City of Pembroke Pines



June 28, 2023

Mr. Steve Pizzillo
Building Official City of Pembroke Pines

Re: Heron Pond
8400 SW 1 St,
Structural Inspection of the Exterior of the Buildings

Mr. Pizzillo:

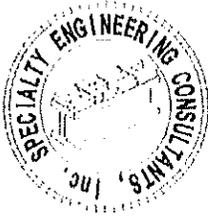
As requested, we visited the referenced site to provide a cursory visual inspection of the buildings in the complex. Our inspection was performed on the afternoon of June 28, 2023. Our preliminary findings are as follows.

The site contains 19 multifamily buildings. All the buildings are two stories in height. Most of the buildings appear to contain 8 units. The primary load bearing members are comprised of wood supporting wood floor joists and rafters, supporting elevated wood framed walls supporting prefabricated roof trusses and plywood sheathing. The structures are approximately 42 years old.

Many of the structures are exhibiting severe structural distress. Excessive deflections, rotten wood exterior columns and exterior walls were noted in every building. In some instances, so severe that the entire cross section of the members had been consumed. We also noted that at least 2 sets of the steel stairs had completely rusted out and were no longer providing sufficient bearing at the walkway slab on grade.

Several of the units had apparently been condemned by the fire department for safety concerns. Nearly all the balconies were shored to prevent them from further deflection.

Currently many of these structures and parts thereof appear to have deteriorated to the condition to be unsafe. To better document the condition of the each of the structures we would recommend a thorough inspection of each of the structures by a Florida Licensed Professional Engineer with experience in the structural design of wood structures, waterproofing, and construction materials. As a minimum guideline for the inspection process, we would recommend that the following procedures be adhered to.



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1. Immediately shore and reshore every balcony and elevated portion of the structures, especially the bay windows and step outs.
2. Inspect the stair stringers and if compromised shore the stairs at the third riser. These shores should be placed under the stringers and under the steel clips connecting the 3rd run to the stringers. The shores can be SYP No. 1, 4x4 cut to fit and wedged tight.
3. Cut access holes in the stucco to provide visible confirmation of the state of the structural member underneath. These access holes in the stucco and lath backing should be cut at every column, 12 inches above grade, and at every exterior column to beam/joist intersection on all elevations of the building.
4. Pick two units in each building and provide a detailed inspection of those unit's interiors including a moisture survey.
5. Provide openings in the bearing walls and ceilings of these units to allow for inspection in these closed areas.
6. Provide access to the roof trusses for a complete inspection of the roof trusses and sheathing.
7. If evidence of deterioration is found in any of the portions of the interior of the units, other units in that building should be investigated to determine the overall condition of the entire structure.

We realize this process will be invasive and expensive. The condition of these structures has become so compromised that a detailed inspection is the only way to provide an accurate profile of the existing condition and capacity of the structures. If this cannot be done immediately, if you cannot obtain an accurate profile of the condition and capacity of these structures, you have no choice but to protect the public and assume that the buildings are unsafe until proven otherwise. It is our recommendation that any building believed to be unsafe should be evacuated until it is proven that they are safe enough to occupy or until such a time that they have been repaired to a condition which would provide complete structural stability.

Thank you for allowing us to be of service in this matter. Should you have any questions or wish to discuss this matter please do not hesitate to contact the undersigned.

Respectfully submitted,
SPECIALTY ENGINEERING CONSULTANTS, INC.

D. Mark LeBlanc, P.E.

Fla. Reg. No. 35683

SI 1177



ISO Class One

CITY OF PEMBROKE PINES FIRE- RESCUE
OFFICE OF FIRE PREVENTION
DIVISION CHIEF/FIRE MARSHAL
DANIEL ALMAGUER



TO: Heron Pond Condominium Association

SUBJ: Unsafe Structure Notification

DATE: June 29, 2023

REF: Technical Analysis Request

This letter shall serve as a notice of an urgent matter pertaining to the Technical Analysis Report requested by my office on May 18, 2023.

The Heron Pond Condominiums, located at 8400 S.W. 1st Street, Pembroke Pines, Florida, continue to exhibit significant signs of deterioration and structural uncertainty. These findings raise serious concerns for public safety, requiring swift action from your association and its representatives.

As a reminder, pursuant to NFPA 1, Section 10.1.4.1 - Where structural elements have visible damage, the Authority Having Jurisdiction (AHJ) shall be permitted to require a technical analysis prepared in accordance with Section 1.15 to determine if repairs are necessary to restore structural integrity.

After meeting on-site with an Independent Structural Engineer on June 28, 2023, it has been determined through their findings that immediate action must be taken for the health and safety of the residents at the Heron Pond Condominiums.

You are hereby reminded that the owner, operator, or occupant of a building that is deemed unsafe by the AHJ shall abate, through corrective action approved by the AHJ, the condition causing the building to be unsafe either by repair, rehabilitation, demolition, or other corrective action approved by the AHJ (NFPA 1:10.2.4).

As you are aware, the units listed below have been deemed Unsafe to Occupy by the City of Pembroke Pines Building Official and shall remain uninhabitable until all necessary reports are received, permits are submitted to the building department, and all disciplines pass all required inspections.

- Building 5 – 292 SW 83rd Way, Unit # 208
- Building 10 – 8375 SW 5th Street, Unit # 101
- Building 10 – 8375 SW 5th Street, Unit # 201

During this time, and until the required technical analysis is received, additional units may be deemed Unsafe to Occupy by the Building Official or the Authority Having Jurisdiction.

Respectfully,

Daniel Almaguer
Division Chief | Fire Marshal

EXHIBIT C